

Division 6 Form Based Design Standards

43.03.61 Purpose and Applicability

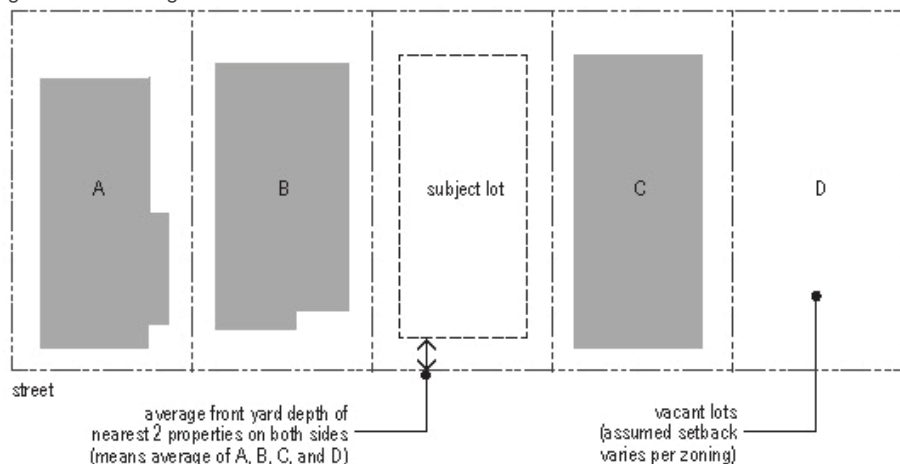
- A) Purpose. The purpose of the following form based design standards is to foster high-quality development and redevelopment that is compatible with the traditional character and scale of the city's historic downtown and residential neighborhoods.
- B) Applicability.
- 1) The form based design standards established in Section **43.03.62** shall apply to new development, redevelopment, and building expansion greater than 50 percent of the floor area of an existing building for all use types, except entirely residential structures with four (4) or less dwellings, when located in any Mixed Use District.
 - 2) The form based design standards established in Section **43.03.63** shall apply to new development, redevelopment, and building expansion greater than 50 percent of the floor area of an existing building for the following residential use types when located in any Residential District.
 - a) Dwelling, Attached Townhouse or Rowhouse
 - b) Dwelling, Apartment
 - c) Dwelling, Apartment Mixed Use
 - 3) The form based design standards in Sections **43.03.62** and **43.03.63** shall not apply to changes of use within existing buildings.
- C) Determination. Conformance of proposed new development with these form based design standards shall be determined by the UDC Administrator. Any appeal of the UDC Administrator's determination shall be heard by the Board of Adjustment.

43.03.62 Design Standards for All Mixed Use Districts

A) Building Siting Standards

1) Building Placement

Figure 43-1: Average Front Yard Setback

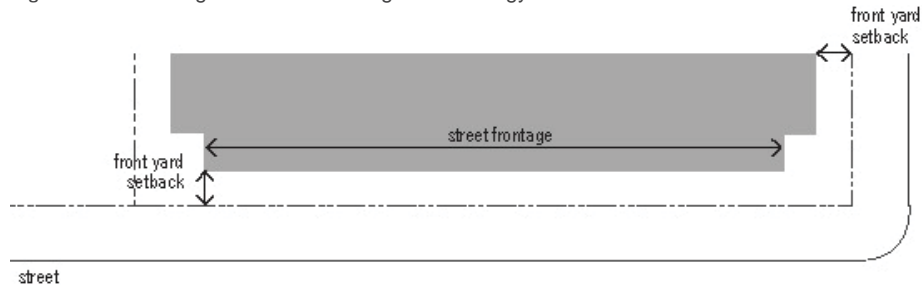


- a) The maximum front yard setback of a new building/addition shall be based on the pattern of front yard setbacks of adjacent buildings on the same blockfront, which shall be calculated

as the average of the front yard setbacks of adjacent buildings on the same blockfront. A new building/addition can be located closer to the front property line than this maximum front yard setback.

- b) In any case, a new non-residential or mixed-use building/addition shall not have a front yard setback greater than 10 feet and a new residential building/addition shall not have a front yard setback greater than 20 feet (reference [Figure 43-2](#)).
- c) In a historic district, a new building/addition shall be placed up to the front property line with no setback.

Figure 43-2: Building Placement/Frontage Terminology



2) Building Street Frontage

- a) In the MU-DC district, the minimum percentage of the street frontage for each lot that must be occupied by a building façade, as measured at the required maximum front yard setback, shall be 75%. This standard applies to the front property line frontage and, for a corner lot, one exterior side property line frontage. Recesses in a building façade do not qualify as meeting the minimum building street frontage standard.
- b) In the MU-DF and MU-N districts, the minimum building street frontage for each lot shall be 60%.
- c) In a historic district, the minimum building street frontage for each lot shall be 100%.
- d) The portion of a lot's front property line that does not have a building façade located at the maximum front yard setback, up to 25% of the lot's front property line in the MU-DC district and up to 40% in the MU-DF and MU-N districts, shall be designed and used for outdoor seating or dining, building entries, landscaping, pedestrian pathways, driveways, or parking areas.

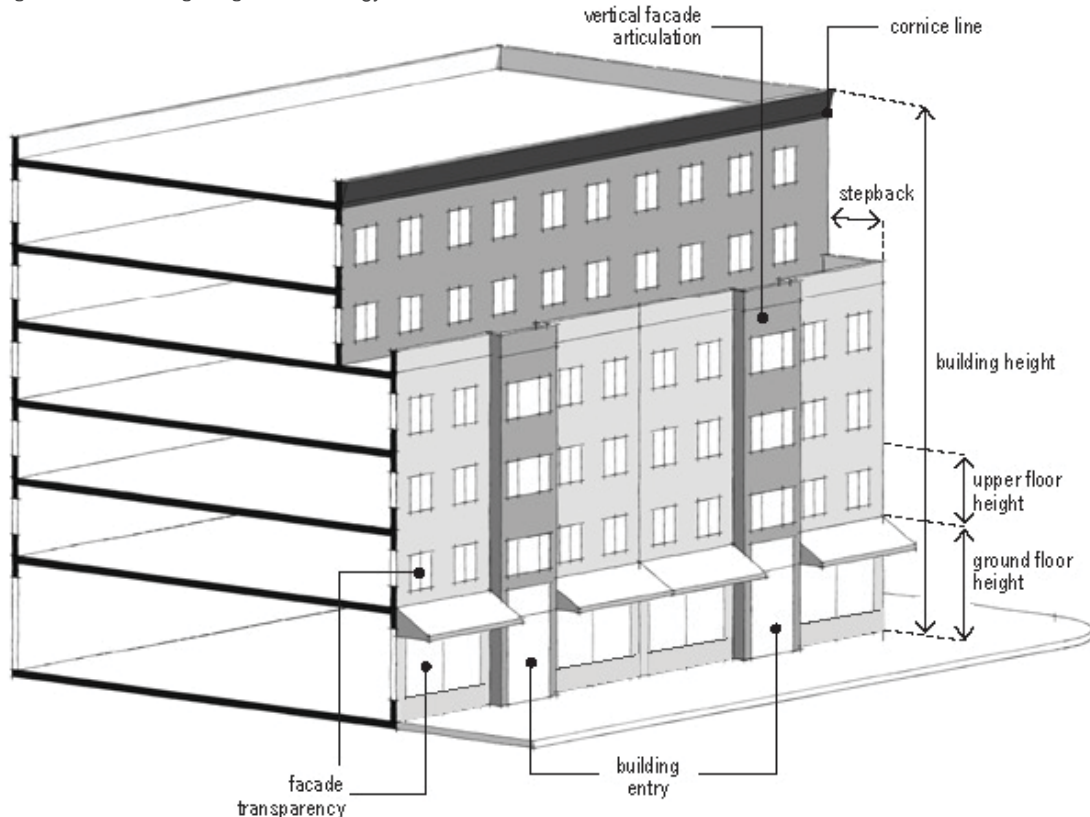
3) Off-Street Parking Location

- a) Off-street surface parking shall not be allowed between a building and sidewalk.
- b) Parking entrances and exits shall be located on secondary streets or alleys, where possible.
- c) A parking structure shall meet all building siting, height, and facade standards.

B) Building Height Standards

1) Building Height

Figure 43-3: Building Height Terminology



- a) A new non-residential building/addition shall have a minimum building facade height of 1.5 stories and a new mixed-use or residential building/addition shall have a minimum building height of 2 stories.
 - b) A new building/addition shall not be more than one story taller or shorter than historically designated buildings on directly adjacent lots. Where the building heights of the directly adjacent lots differ, the building with the higher number of stories shall be the standard.
 - c) A new building/addition that is more than one story taller than directly adjacent buildings (non-historically designated) shall incorporate a minimum 8 feet stepback for the stories that are more than one story above directly adjacent buildings.
 - d) For an addition to a historically designated building, the cornice line on the principal façade of an addition shall be equal to or lower than the cornice line on the principal façade of the historic structure. Likewise, the roof ridge line on the principal façade of an addition shall be equal to or lower than the roof ridge line on the principal façade of the historically designated structure.
- 2) Ground Story Height
 - a) The ground story of a new building/addition shall have a minimum interior clear (floor to ceiling) height of 12 feet; minimum interior clear height for upper stories shall be 9 feet.
 - b) For an addition to a historic building, ground/upper story heights shall be equal to or lower than the ground/upper story heights of the principal structure.
- C) Building Facade Standards
- 1) Façade Horizontal Articulation/Divisions

a) A building facade fronting on a public street, park, or plaza shall have an architectural feature at the top of the ground story and below the top story. A horizontal architectural feature is composed of a decorative, three-dimensional, horizontal element that projects out or is recessed in from the exterior facade of a building at least two inches.



Upper Story Stepback – 2nd Story

b) A non-residential or mixed-use building facade fronting on a public street, park, or plaza shall have a flat or low-slope roof with a parapet or cornice cap; a residential building is allowed to have a roof form that complements existing roof forms in the downtown district. All building types may include a unique architectural roof feature that is consistent with the historic roof forms in the downtown district.



Façade Horizontal Articulation/Divisions

2) Façade Vertical Articulation/Divisions

a) Any ground story facade fronting on a public street, park, or plaza that exceeds 40 feet in width shall be visually divided into smaller sections through articulation of the façade. Articulation techniques include vertical recesses or projections of the building façade, window bays, balconies, and changes in exterior materials.



Façade Vertical Articulation/Divisions

b) For upper stories, façade articulation shall occur for facades exceeding 80 feet in width on a public street, park, or plaza.

3) Façade Transparency

a) A ground story façade of a non-residential or mixed-use building fronting on a public street, park, or plaza shall have a minimum transparency of 60%; residential buildings shall have a minimum of 20%.



Façade Transparency

b) Upper story facades fronting on a public street, park, or plaza shall have a minimum transparency of 20%.

c) Side and rear facades, which are clearly visible from a public street, park, or plaza, shall have a minimum transparency of 12%, unless otherwise prohibited by the city's Building Code.

d) Tinted or reflective glass is prohibited for windows and doors on ground story facades fronting on a public street, park, or plaza. Non-tinted, clear low-e window coatings are permitted. Glass block is prohibited on all facades, ground and upper stories, fronting on a public street, park, or plaza.



Façade Materials

e) Blank wall areas fronting on a public street, park, or

plaza shall not exceed a rectangular area greater than 30% of a story's façade, as measured from floor to floor, and shall not exceed a horizontal distance greater than 15 feet of a story's façade.

4) Façade Materials

- a) Dominant materials, constituting a minimum 75% of a façade (excluding glass windows), fronting on a public street, park, or plaza shall consist of materials characteristic of downtown historic district buildings, including masonry (clay or concrete brick, natural or textured cast concrete stone). Other modern materials will be considered by the City if they provide similar visual character, color, and quality to that of historic downtown building materials and complement the materials of contributing buildings in the downtown historic district.
- b) Prohibited materials on a façade fronting on a public street, park, or plaza are lower quality, less durable finish materials that do not complement materials characteristic of downtown historic district buildings, including, non-textured cast concrete, cement-based stucco, synthetic stucco or EIFS (below the third story), glass block, , vinyl, aluminum, and other materials resulting in similar visual character. These materials may be used on rear and side building facades.
- c) Accent materials, constituting a maximum 25% of a façade (excluding glass windows), allowed on a façade fronting on a public street, park, or plaza include dominant façade materials, as well as glass, architectural or decorative metal, architectural exposed concrete panels, decorative tile, and stucco/EIFS (above the second story). Such materials shall complement the materials of existing historically designated buildings in the downtown historic districts.
- d) The façade materials standards above shall apply to all facades of buildings for stories above the second story, which are clearly visible from a public street, park, or plaza.

5) Building Entries

- a) A prominent entry is required on the primary building façade on a façade fronting on a public street, park, or plaza.



Upper Story Stepback – 5th Story



Façade Transparency



Building Entries



Building Siting



Building Vertical Articulation

43.03.63 Design Standards for All Residential Districts

A) Building Siting Standards

1) Front Yard Setback

- a) The minimum front yard setback of a new building/addition shall be based on the pattern of front yard setbacks of adjacent buildings on the same blockfront, which shall be calculated as the average of the front yard setbacks of adjacent buildings on the same blockfront, as displayed in **Figure 43-1**.

B) Building Height Standards

1) Upper Stories Stepback

- a) New buildings/additions that are more than one story taller than adjacent buildings shall incorporate a minimum 8 feet stepback for the stories that are more than one story above adjacent buildings.

C) Building Façade Standards

1) Façade Horizontal Articulation/Divisions

- a) A building façade fronting on a public street, park, or plaza shall have an architectural feature at the top of the ground story and below the top story. A horizontal architectural feature is composed of a decorative, three-dimensional, horizontal element that projects out or is recessed in from the exterior façade of a building at least two inches.

2) Façade Vertical Articulation/Divisions

- a) A ground story façade fronting on a public street, park, or plaza that exceeds 40 feet in width shall be visually divided into smaller sections through articulation of the façade. Articulation techniques include vertical recesses or projections of the building façade, window bays, balconies, and changes in exterior materials.
- b) For upper stories, façade articulation shall occur for facades exceeding 80 feet in width.

3) Façade Transparency

- a) A residential building façade fronting on a public street, park, or plaza shall have a minimum transparency of 20%.
- b) Side and rear facades, which are clearly visible from a public street, park, or plaza, shall have a minimum transparency of 12%, unless otherwise prohibited by the city’s Building Code.
- c) Blank wall areas fronting on a public street, park, or plaza shall not exceed a rectangular area greater than 30% of a story’s façade, as measured from floor to floor, and shall not exceed a horizontal distance greater than 15 feet of a story’s façade.



Façade Transparency



Façade Materials

- a) Dominant materials, constituting a minimum 75% of a façade (excluding glass windows), fronting on a public street, park, or plaza shall consist of masonry (clay or concrete brick, natural or cast stone), wood and fiber cement siding, and other high quality, durable finish materials. Other modern materials will be considered by the City if they provide similar visual character, color, and quality to that of adjacent buildings in the residential district.
 - b) Prohibited materials on a façade fronting on a public street, park, or plaza are lower quality, less durable finish materials that do not complement materials of adjacent buildings in the residential district, including non-textured cast concrete, cement-based stucco, synthetic stucco or EIFS (below the third story), glass block, , vinyl, aluminum, and other materials resulting in similar visual character. These materials may be used on rear and side building facades.
 - c) Accent materials, constituting a maximum 25% of a façade (excluding glass windows), allowed on a façade fronting on a public street, park, or plaza include dominant façade materials, as well as glass, architectural or decorative metal, architectural exposed concrete panels, decorative tile, and stucco/EIFS (above the second story).
 - d) The façade materials standards above shall apply to all facades for stories above the second story, which are clearly visible from a public street, park, or plaza..
- 5) Building Entries
- a) A prominent entry is required on any building façade fronting on a public street, park, or plaza.

43.03.64 Historic District Design Guidelines

- A) A new building or addition within a historic district shall be in substantial conformance with the New Construction Design Guidelines established in the city's Historic District Design Guidelines document. Development proposals will be reviewed as part of the Certificate of Appropriateness and Site Plan processes for conformance with the Historic District Design Guidelines and City Codes.
- B) In cases where standards of this section conflict with historic district design guidelines, the historic guidelines shall govern.

Division 7 Use Specific Standards

43.03.71 Purpose and Applicability

- A) The purpose of the following regulations is to establish development standards that address the unique characteristics of certain principal and accessory land uses. These use-specific development standards are cross-referenced in the last columns of both the Principal Use Table and the Accessory Use Table in Section **43.02.22**. The principal and accessory uses listed in Sections **43.03.72 - 43.03.79** below are subject to these specific development standards, in addition to all other applicable regulations in the UDC.
- B) Unless noted, required setbacks apply to principal structures, access drives, and parking. Required setbacks shall not apply to landscaping, stormwater facilities or required fencing or buffering.

43.03.72 Use Specific Standards for Residential Principal Uses

- A) Bed And Breakfast, Owner-Occupied Tourist Homes. All Bed and Breakfast and Tourist Homes shall be subject to the following conditions: